

December 31, 2015



Vasile Antemie  
15129 Simonds Rd  
Kenmore, WA 98028

SUBJECT: 3<sup>rd</sup> COMPLETENESS REVIEW OF A SHORT PLAT FILE NO. SUB15-00016 FOR A  
VACANT PARCEL IN THE HOLMES POINT AREA; PARCEL: 2796700115

Dear Vasile,

This is the third completeness review of the Up-Lake Short Plat application. Unfortunately, it is still incomplete.

Note: read through this letter completely and provide all items requested.

1. **Adverse possession claim by neighbor:** A neighbor has made a claim that a portion of the property you think of as yours is actually his property. This is called an adverse possession claim. I want to emphasize that it has nothing to do with the accuracy of the survey. As far as I can tell, the survey is accurate. The City Attorney has indicated that the City cannot approve a subdivision of land where there is an adverse possession claim. The neighbor has written a letter indicating adverse possession.  
We can go forward with the review of the application while you solve this issue with your neighbor and hopefully, you can solve this before you get to the recording of the short plat. Please understand that I cannot give you or your neighbor legal advice; this is something the two of you need to solve. One solution is for the neighbor to sign the short plat recording, but it would be up to you to convince him to do this.
2. **Survey:** The application checklist I gave you indicated that the survey needs to show the following:

- |    |   |                          |
|----|---|--------------------------|
| k. | Location and dimensions of existing and proposed improvements in existing and proposed rights-of-way and easements serving the short plat (right-of-way standards are established by Chapter 110 of the Zoning Code. Easement standards are established by Chapter 105 of the Zoning Code).   | <input type="checkbox"/> |
| m. | Existing and proposed water, sewer, drainage and power systems (including fire hydrants and location of nearest utility poles) on, under or over the property, showing size, grades and location, together with a letter of sewer and/or water availability if sewer and/or water service is to be provided by a utility other than the City. | <input type="checkbox"/> |

Note that you did not check these items. Item K is still needed and may need to be worked out with Public Works.

Item m: you still need a letter of sewer and water availability from Northshore Utility.

3. **Mathematical lot closures:**

Provide a new mathematical closure report that includes the entire parcel. You have provided only the closure reports for the newly proposed lots.

4. **Geotechnical Report:** Please provide a report that shows where test pits were dug and soil analysis was done. While the Geotechnical Engineer's opinion is valued, it must be backed up by the testing of the soil. I believe this has likely already been done, but you need to provide the actual test pit data and full geotechnical report. Let me know if you need an example.
5. **Tree Plan and Holmes Point Overlay Protected Areas:**  
 There is enough information for the purposes of completeness of application for this site with the updated plans and arborist report. The City's arborist will complete his review once the entire application is complete. This site is not a good candidate for an Integrated Tree Plan (IDP). However, if you will choose an integrated plan anyway, I can't prohibit that. If you do want to move forward with the integrated tree plan, you should know that the application is not complete until all tree retention is settled by means of having one or more meetings at City Hall with your arborist and the City's arborist in attendance. With an IDP, once tree retention is set, you can't change it unless you want to go in front of the Hearing Examiner. I want to make it clear that I do not believe this site is a good candidate for an IDP because of the uncertainty of the utility plans. If it is your wish to continue with an IDP, please set up a meeting with me in the near future that will include your arborist and your engineer.  
 Further, the required Protected Natural Areas (PNA's) are not approved with this submittal. They will need to be further evaluated. There is enough information for completeness and to continue review, but I want to make it clear that they are not approved.
6. **Letter of sewer and water availability**—Submit a letter from Northshore utility district for availability of the sewer and water. This is the third time I have asked for this letter.
7. **Waste Management**—the letter you submitted for garbage pickup must include the name and the signature of the person writing it. Resubmit with signature.

**PUBLIC WORKS COMPLETENESS COMMENTS (from Rob Jammerman 12/21/15):**

**Note: See attached documents that accompany Rob's comments: 1. Storm comments and 2. Example plans from another subdivision**

Vasile:

It was good to meet with you today. As we discussed your short plat is being processed by the Planning Department, but before Public Works can sign off our approval the following items need to be addressed by your Engineer:

1. The Surface Water TIR was not complete. Please forward the attached document to your engineer have him amend the TIR.
2. The hammerhead turn-around at the north end of 72<sup>nd</sup> Pl. NE does not meet Fire Department standards. Please revise the hammerhead.
3. The street cross section on sheet 4 of 5 should show vertical concrete curb and gutter instead of asphalt curb.
4. The plans are very hard to read and understand. The plans should be re-drawn to clearly depict the differences between the street improvements, utilities, property lines, etc. I have attached a set of drawing from a different project that reflects the standard and level of detail that is

needed for us to review the project. If the plans remain as is, our review of the project will be delayed due to the challenging plan review.

5. Last, as we discussed, you may want to have your engineer move ahead and prepare the complete set of construction drawing that can be submitted for your Land Surface Modification (LSM) Permit. This is the permit needed to install all the street and utility permits. This permit can be reviewed while the short plat is being reviewed processed, but cannot issue the LSM Permit until the Short Plat is approved. Also, we cannot issue an new single family building permits until the LSM is approved.

Please let me know if you have any questions.

*Rob Jammerman*  
*Development Engineering Manager*  
425-587-3845

In conclusion, this application is incomplete again. The application will be put on hold until the items are submitted. Since you submitted in person, you must do the same with the new submittal: 2 hard copies of everything needed and a CD with all new plans on it in PDF format, not CAD.

SEE ATTACHED DOCUMENTS (3):

1. Letter from Neighbor asserting adverse possession
2. Memo: Stacey Rush, Storm water
3. Example engineer plans

Let me know if you have any questions. 425.587.3252 [slauinger@kirklandwa.gov](mailto:slauinger@kirklandwa.gov)

Sincerely,  
Susan Lauinger  
Planner  
City of Kirkland Planning Department

Cc: Stacey Rush, Rob Jammerman, file sub15-00016

10 September 2015

Susan Lauinger, Planner  
Planning and Building Department  
City of Kirkland  
123 5th Ave  
Kirkland, WA 98033

Dear Ms. Lauinger,

I am writing to express our concerns regarding the 2015 survey of the undeveloped property on 72<sup>nd</sup> Place NE that abuts our property at 11666 Holmes Pt Drive.

We have lived in our home for nearly 40 years and have never had an issue with the property lines and/or markers until now, after the property at issue behind our home was resurveyed this summer. As a result of that survey a new survey stake on the southwest corner of the land at issue now infringes roughly 2 feet into our property beyond the original survey marker that has been there for decades.

We take issue with this and the accuracy of the new 2015 survey. Accordingly we are bringing this to the attention of the Kirkland Planning and Building Department as a matter of record.

Thank you for your attention to this matter.

Sincerely,

Susan and Eduardo Calderón  
11666 Holmes Pt. Drive NE  
Kirkland, Wa 98034



## CITY OF KIRKLAND

### Department of Public Works

123 Fifth Avenue, Kirkland, WA 98033 425.587.3800  
www.kirklandwa.gov

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## MEMORANDUM

**To:** Rob Jammerman, Development Engineering Manager

**From:** Stacey Rush, PE, Senior Surface Water Engineer

**Date:** December 16, 2015

**Subject:** Up Lake Short Plat (SUB15-00016) – Preliminary Stormwater Review Comments (formerly called Antemie/Shoreline/MV)

The Public Works Department has reviewed the application for the Up Lake Short Plat. We find that the application is complete, but we will not be able to complete our review of the short plat until the following stormwater comments are addressed:

A. The Stormwater Technical Information Report is incomplete ("not applicable" is not an adequate response for core stormwater requirements). All projects resulting in 5,000sf or more of new impervious surface area must address the 8 Core Stormwater Requirements in the 2009 King County Surface Water Design Manual. The requirements are listed below for your convenience, but consult the manual for full descriptions and requirements:

- **Requirement #1 – Discharge at the Natural Location**
  - Include analysis of the natural discharge and the discharge after site development.
- **Requirement #2 – Offsite Analysis**
  - Include a table showing the amount of impervious surface area existing on the site prior and post development.
  - Include analysis of any offsite flows entering the property.
  - Include downstream analysis that assesses potential offsite drainage impacts associated with development of the project and proposes appropriate mitigations of those impacts. List any existing problems with conveyance, erosion, or flooding. If there are existing problems, state how the project will avoid exacerbating or will correct existing downstream problems.
- **Requirement #3 – Flow Control**
  - State level of flow control and facility proposed. Include all flow control calculations. If project is exempt, clearly demonstrate how project meets all requirements of exemption.
  - Evaluate the feasibility and applicability of dispersion and infiltration, and state the low impact development BMPs that will be used on this project (1 minimum). See PW Pre-Approved Plan Policy L-2.
  - Include required soil information.
  - Amended soil per Ecology BMP T5.13 is required for all landscaped areas on project sites 1 acre or larger (project site includes disturbed right-of-way area).
- **Requirement #4 – Conveyance System**
  - Include conveyance calculations for all on-site storm structures and new off-site structures. Calculations must show the system is designed with sufficient capacity to convey and contain the 25-yr peak flow.

- **Requirement #5 – Erosion and Sediment Control**

- The Construction Storm Water Pollution Prevention Plan (CSWPPP) contains 2 parts; the Erosion and Sediment Control (ESC) Plan, and the Stormwater Pollution Prevention and Spill (SWPPS) Plan. All projects meeting the threshold for a drainage review require an ESC Plan (including a drawing in the plans and a narrative section in the technical information report). Only project sites one acre or larger are required to submit a SWPPS Plan. All three plans are explained further in Public Works Policy D-12, and in the 2009 KCSWDM (sections 2.3.1.3 & 2.3.1.4).

- **Requirement #6 – Maintenance & Operations.**

- Include standard maintenance practices for all on-site stormwater structures.

- **Requirement #7 – Financial Guarantees and Liability**

- To ensure covering the cost of correcting (if necessary) incomplete or substandard construction work, and two years performance and maintenance of drainage facilities.

- **Requirement #8 – Water Quality**

- Include areas of new and replaced PGIS in a table and on a site drawing.
- Water quality treatment is required if the project adds or replaces 5,000sf or more pollution generating impervious surface area (including right-of-way area). Include level of treatment and facility proposed, along with all calculations. If project is exempt, clearly demonstrate how project meets all requirements of exemption.

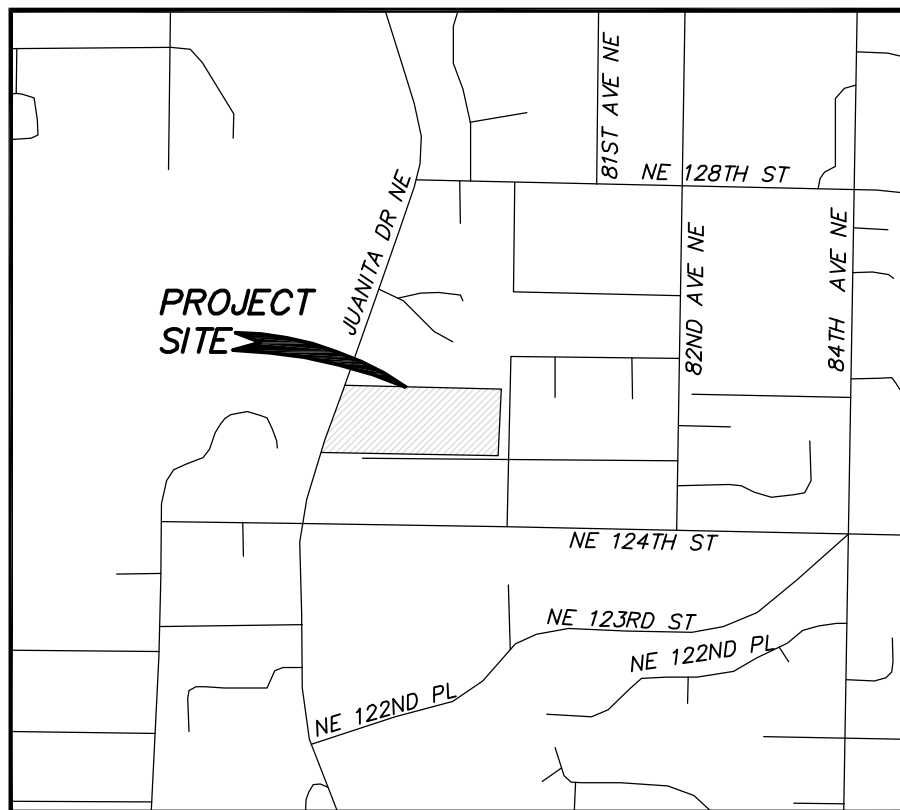
B. The proposed storm conveyance from each home must be shown on the plans.



NE 1/4 SECTION 25, TOWNSHIP 26 N, RANGE 4 E, W.M.

# RADKE SUBDIVISION

KIRKLAND PERMIT NO. SUB15-00615



VICINITY MAP  
SCALE 1"=750'

### TYPICAL BUILDING SETBACKS

UNLESS OTHERWISE NOTED, BUILDING SETBACKS ARE AS FOLLOWS:

FRONT YARD SETBACK: 20 FEET  
SIDE YARD SETBACK: 5 FEET  
STREET SIDE YARD SETBACK: 5 FEET  
REAR YARD SETBACK: 10 FEET

### LEGAL DESCRIPTION

PARCEL A:  
LOT 7 IN BLOCK 13, AND THAT PORTION OF LOT 7 IN BLOCK 14 OF KERR'S LAKE WASHINGTON ONE ACRE TRACTS, AS PER PLAT RECORDED IN VOLUME 17 OF PLATS, PAGE 4, RECORDS OF KING COUNTY AUDITOR, LYING EASTERLY OF KENMORE-JUANITA ROAD (NOW KNOWN AS JUANITA DRIVE NORTHEAST);

TOGETHER WITH THAT PORTION OF VACATED 78TH AVENUE NORTHEAST LYING BETWEEN SAID LOT 7 IN BLOCK 14 AND KENMORE-JUANITA ROAD (NOW KNOWN AS JUANITA DRIVE NORTHEAST);

PARCEL B:  
LOT 8 IN BLOCK 14 OF KERR'S LAKE WASHINGTON ONE ACRE TRACTS, AS PER PLAT RECORDED IN VOLUME 17 OF PLATS, PAGE 4, RECORDS OF KING COUNTY AUDITOR;

TOGETHER WITH THAT PORTION OF VACATED 78TH AVENUE NORTHEAST LYING BETWEEN SAID LOT 8 AND KENMORE-JUANITA ROAD (NOW KNOWN AS JUANITA DRIVE NORTHEAST);

AND TOGETHER WITH LOT 8 IN BLOCK 13 OF KERR'S LAKE WASHINGTON ONE ACRE TRACTS, AS PER PLAT RECORDED IN VOLUME 17 OF PLATS, PAGE 4, RECORDS OF KING COUNTY AUDITOR;

EXCEPT THAT PORTION OF SAID LOT 8 IN BLOCK 13 DESCRIBED AS FOLLOWS;  
BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT, SAID CORNER BEING ON THE WEST RIGHT OF WAY MARGIN OF 80TH AVENUE NE.; THENCE N87°57'56"W, ALONG THE SOUTH LINE OF SAID LOT, 87.71 FEET; THENCE N02°02'04"E 93.75 FEET; THENCE S87°57'56"E 87.62 FEET TO THE EAST LINE OF SAID LOT AND SAID WEST MARGIN; THENCE S01°58'57"W, ALONG SAID EAST LINE AND WEST MARGIN, 93.75 FEET TO THE POINT OF BEGINNING.

SITUATE IN THE CITY OF KIRKLAND, COUNTY OF KING, STATE OF WASHINGTON.

### REFERENCES

1. THE PLAT OF KERR'S LAKE WASHINGTON ONE ACRE TRACTS, RECORDED IN VOLUME 17 OF PLATS, PAGE 4 UNDER RECORDING NUMBER 557768.
2. THE PLAT OF HIDDEN CREST, RECORDED IN VOLUME 95 OF PLATS PAGES 5 THROUGH 7 UNDER RECORDING NUMBER 7212050559.
3. THE PLAT OF OOSTERWYK GARDEN AS RECORDED IN VOLUME 63 OF PLATS, PAGES 37 THROUGH 39 UNDER RECORDING NUMBER 9301201422.

### TITLE RESTRICTIONS

1. THIS SITE IS SUBJECT TO A NOTICE OF TAP OR CONNECTION CHARGES WHICH HAVE BEEN OR WILL BE DUE IN CONNECTION WITH DEVELOPMENT OR RE-DEVELOPMENT OF THE LAND AS DISCLOSED BY INSTRUMENT RECORDED UNDER RECORDING NUMBER 9207300895.

### VERTICAL DATUM

NAVD 88 PER PER KING COUNTY DEPARTMENT OF PUBLIC WORKS SURVEY BRANCH VERTICAL CONTROL

### BENCHMARK

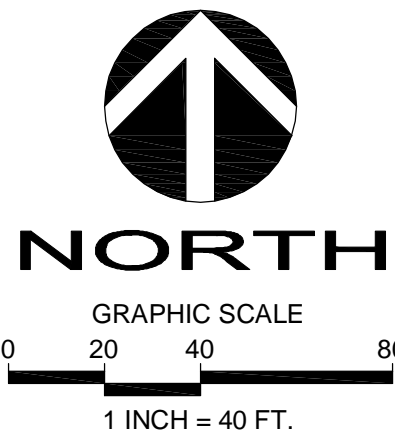
NORTHEAST CORNER OF SECTION 25-26-4, FOUND CONCRETE MONUMENT WITH 3" BRASS DISK STAMPED "KING COUNTY SURVEY", DOWN 1.3" IN MONUMENT CASE AT THE INTERSECTION OF NE 132ND STREET AND 84TH AVENUE NE, KING COUNTY DEPARTMENT OF PUBLIC WORKS SURVEY BRANCH VERTICAL CONTROL POINT NO. 493. ELEVATION = 419.897 FEET.

### PROJECT DESCRIPTION:

ADDRESS OF THE PROPERTY: 7922 NE 125TH STREET & 12432 JUANITA DRIVE NE  
PARCEL NUMBERS: 384070-0755, -0758, -0685  
EXISTING ZONING: RSA-B  
PROPOSED DWELLING UNITS: 20  
ACREAGE: 3.36 ACRES (146,473 S.F.) GROSS  
R.O.W. AREA: 19,734 S.F.  
PROPOSED USE: SINGLE FAMILY DETACHED HOUSING  
SEWER DISTRICT: NORTHSORE UTILITY DISTRICT  
WATER DISTRICT: NORTHSORE UTILITY DISTRICT  
SCHOOL DISTRICT: LAKE WASHINGTON NO. 414  
TELEPHONE SERVICE: VERIZON  
POWER SOURCE: PUGET SOUND ENERGY

### PROJECT CONTACTS:

APPLICANT / AGENT: TOLL WA LP  
9720 NE 120TH PLACE, SUITE 100  
KIRKLAND, WASHINGTON 98034  
(425) 825-5344  
CONTACT: HANS CHRISTIANSEN  
HCHRISTIANSEN@TOLLBROTHERSINC.COM  
CIVIL ENGINEER: D.R. STRONG CONSULTING ENGINEERS, INC.  
620 7TH AVENUE  
KIRKLAND, WASHINGTON 98033  
(425) 827-3063  
CONTACT: MAHER A. JOUDI, P.E.  
MAHER.JOUDI@DRSTRONG.COM  
SURVEYOR: D.R. STRONG CONSULTING ENGINEERS, INC.  
620 7TH AVENUE  
KIRKLAND, WASHINGTON 98033  
(425) 827-3063  
CONTACT: STEPHEN J. SCHREI, P.L.S.  
STEVE.SCHREI@DRSTRONG.COM  
ARBORIST: GILLES CONSULTING  
P.O. BOX 2366  
KIRKLAND, WASHINGTON 98033-2366  
(425) 822-4994  
CONTACT: BRIAN K. GILLES  
BKILLES@COMCAST.NET



### BASIS OF BEARINGS:

N01°59'45"E BETWEEN THE MONUMENTS  
FOUND IN PLACE AT THE EAST  
QUARTER CORNER AND NORTHEAST  
SECTION CORNER, SECTION 25-26-4  
PER KING COUNTY DEPARTMENT OF  
PUBLIC WORKS SURVEY BRANCH  
CONTROL POINTS 494 AND 493

### SHEET INDEX

C1	OF 9	COVER SHEET
C2	OF 9	EXISTING CONDITIONS
C3	OF 9	INTEGRATED TREE PLAN
C4	OF 9	ROAD & GRADING PLAN
C5	OF 9	ROAD CROSS SECTIONS
C6	OF 9	DRAINAGE CONTROL PLAN
C7	OF 9	ROAD & UTILITY PROFILES
C8	OF 9	ROAD & UTILITY PROFILES
C9	OF 9	ROAD & UTILITY PROFILES



D.R. STRONG  
CONSULTING ENGINEERS  
ENGINEERS PLANNERS SURVEYORS

620 - 7TH AVENUE KIRKLAND, WA 98033  
O 425.827.3063 F 425.827.2423

RADKE SUBDIVISION  
IDP SUBMITTAL

COVER SHEET  
12432 JUANITA DRIVE  
KIRKLAND, WASHINGTON

TOLL WA, LP

9720 NE 120TH PLACE, #100  
KIRKLAND, WA 98033  
(425) 825-5344



APR	CSC	CSC
REVISION	PUBLIC WORKS CONDITIONS	PANEL A FRONTAGE WORK
DATE	09/18/15	10/01/15

DRAFTED BY: MAJ  
DESIGNED BY: MAJ/CSC  
PROJECT ENGINEER: MAJ  
DATE: 03.20.15  
PROJECT NO.: 15012

DRAWING: C1  
SHEET: 1 OF 9



NE 1/4 SECTION 25, TOWNSHIP 26 N, RANGE 4 E, W.M.

# RADKE SUBDIVISION

KIRKLAND PERMIT NO. SUB15-00615



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EXISTING CONDITIONS  
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KIRKLAND, WASHINGTON

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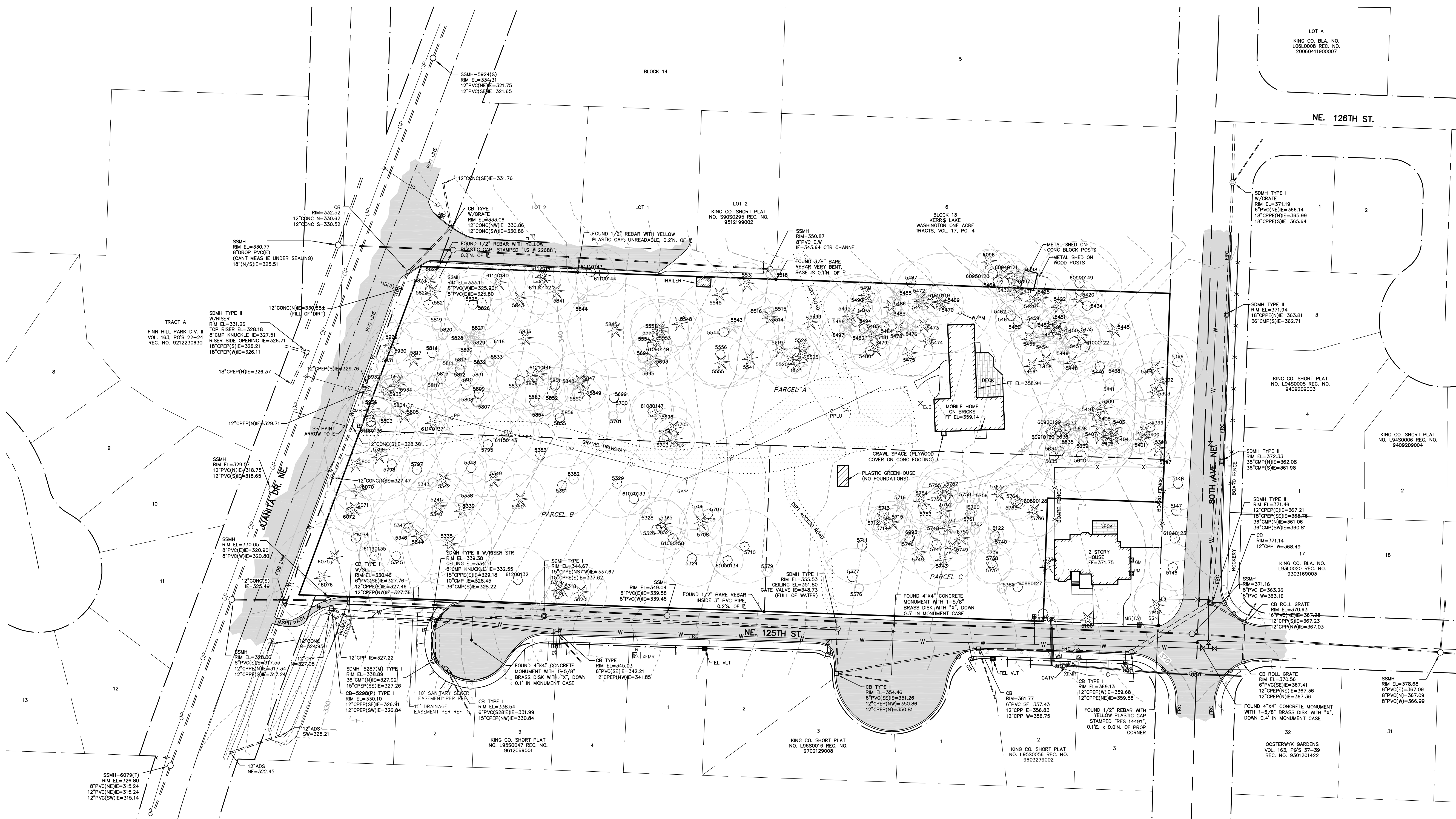


10-02-2015

APR CSC  
CSC  
REVISION  
PUBLIC WORKS CONDITIONS  
10/01/15 PARCEL A FRONTAGE WORK  
DATE  
09/18/15  
10/01/15

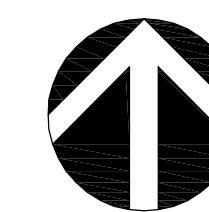
DRAFTED BY: MAJ  
DESIGNED BY: MAJ/CSC  
PROJECT ENGINEER: MAJ  
DATE: 03.20.15  
PROJECT NO.: 15012

DRAWING: C2  
SHEET: 2 OF 9



## TREE LEGEND:

- MAPLE TREE (W/ DRIPLINE)
- NON-MAPLE TREE (NO DRIPLINE)



NORTH

GRAPHIC SCALE

0 20 40 80

1 INCH = 40 FT.

## BASIS OF BEARINGS:

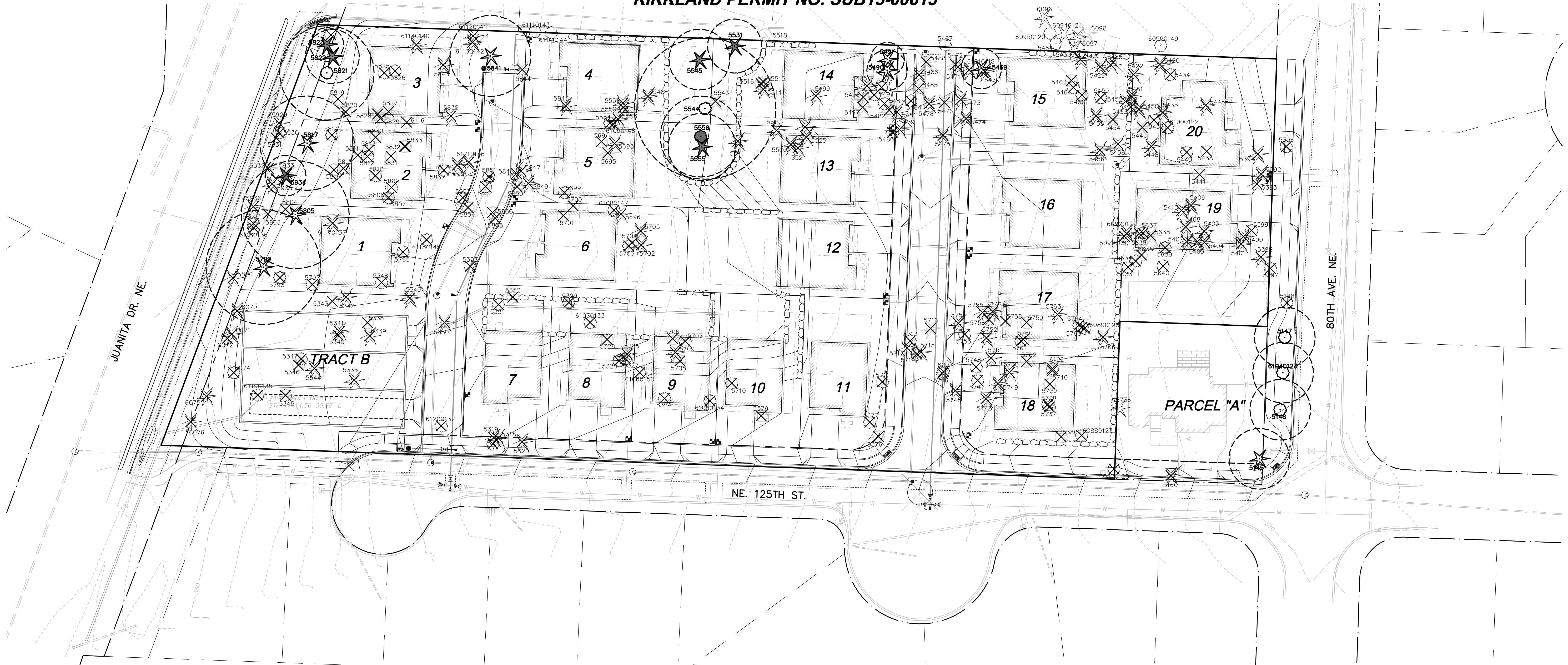
N01°59'45"E BETWEEN THE MONUMENTS  
FOUND IN PLACE AT THE EAST  
QUARTER CORNER AND NORTHEAST  
SECTION CORNER, SECTION 25-26-4  
PER KING COUNTY DEPARTMENT OF  
PUBLIC WORKS SURVEY BARNCH  
CONTROL POINTS 494 AND 493



NE 1/4 SECTION 25, TOWNSHIP 26 N, RANGE 4 E, W.M.

# RADKE SUBDIVISION

KIRKLAND PERMIT NO. SUB15-00615



FENCING SIGN DETAIL  
Tree Protection Area, Entrance Prohibited  
To report violations contact  
City Code Enforcement  
at (425) 587-3225

LAST REVISED: 01/30/09

SIGNIFICANT EXISTING TREE

CONTINUOUS CHAINLINK FENCING POST AT MAX 10' O.C.

INSTALL AT LOCATION AS SHOWN ON PLANS

CRITICAL ROOT ZONE

6" MIN

NOTES

- MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAINLINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCLOSE TREE(S). INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
- TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER ONE (1) INCH DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING, AND COVERED WITH SOIL AS SOON AS POSSIBLE.
- NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
- FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) FEET ALONG THE FENCE. SIGN TO BE MINIMUM 11"x17", AND MADE OF WEATHERPROOF MATERIAL.

CITY OF KIRKLAND  
PLAN NO. CK-R-49

TREE PROTECTION

TREE TABLE							
TREE #	SPECIES	DBH (IN)	TREE CREDIT	DRIP LINE RADIUS (FT)	LIMITS OF DISTURBANCE (FT)	CURRENT HEALTH RATING	COMMENT
5531	WESTERN RED CEDAR	22.6	7.0	16	16	EXCELLENT	SAVE
5545	WESTERN RED CEDAR	21.7	6.0	18	18	EXCELLENT	SAVE
5555	WESTERN RED CEDAR	20.6	6.0	20	20	EXCELLENT	SAVE
5556	PACIFIC MADRONE	28.1	10.0	24	24	FAIR	SAVE
5822	DOUGLAS FIR	18.6	5.0	16	16	GOOD	SAVE
5823	DOUGLAS FIR	8.1	1.0	10	10	FAIR	SAVE
5934	DOUGLAS FIR	10.1	1.0	12	12	FAIR	SAVE
5469	WESTERN RED CEDAR	9.5	1.0	12	12	GOOD	RETAIN IF POSSIBLE
5490	WESTERN RED CEDAR	14.2	3.0	12	12	VERY GOOD	RETAIN IF POSSIBLE
5491	WESTERN RED CEDAR	8.5	1.0	10	10	GOOD	RETAIN IF POSSIBLE
5544	BIG LEAF MAPLE	27.2	9.0	42	42	GOOD	RETAIN IF POSSIBLE
5799	DOUGLAS FIR	31.8	11.0	34	34	VERY GOOD	RETAIN IF POSSIBLE
5805	DOUGLAS FIR	26.6	9.0	32	32	GOOD	RETAIN IF POSSIBLE
5817	DOUGLAS FIR	26.5	9.0	28	28	GOOD	RETAIN IF POSSIBLE
5821	BIG LEAF MAPLE	26.4	9.0	28	28	GOOD	RETAIN IF POSSIBLE
5841	DOUGLAS FIR	21.5	6.0	24	24	GOOD	RETAIN IF POSSIBLE

## TREE DENSITY REQUIREMENT

THE REQUIRED MINIMUM TREE DENSITY IS 30 TREE CREDITS PER ACRE.

TOTAL LOT AREA = 146,473 S.F. (3.36 AC)

TREE DENSITY REQUIRED =  $3.36 \times 30 = 101$  TREE CREDITS

TREE DENSITY PROVIDED = 36 (SAVED TREES ONLY)

TREE DENSITY REPLACEMENT CREDITS REQUIRED = 65

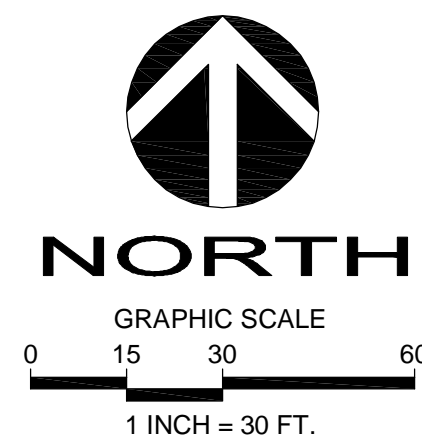
NOTE:  
TREE DENSITY REQUIREMENTS ARE BASED ON PROPOSED PLAT AREA. BECAUSE PARCEL "A" IS EXCLUDED FROM THE PLAT, TREES ON THIS LOT ARE NOT INCLUDED IN CALCULATIONS.

## TREE LEGEND

- 5822 SAVED TREE W/ TAG NUMBER
- 5821 RETAINED TREE IF POSSIBLE W/ TAG NUMBER (CREDIT TO BE DETERMINED AT FINAL HOME INSPECTION)
- TREE TO BE REMOVED
- 1019 NON-VIABLE TREE & TAG NUMBER (DECIDUOUS SHOWN)
- 1019 VIABLE TREE & TAG NUMBER (EVERGREEN SHOWN)
- 61050134 6105 134 SURVEY POINT NUMBER ARBORIST TREE NUMBER

## NOTES:

- TREE LOCATIONS AND TAG NUMBERS PER FIELD SURVEY BY MEAD GILLMAN AND ASSOCIATES.
- VIABLE, NON-VIABLE AND DRIFLINE DIMENSIONS PER ARBORIST REPORT PREPARED BY GILLIS CONSULTING DATED 1/29/15.



## BASIS OF BEARINGS:

N01°59'45"E BETWEEN THE MONUMENTS FOUND IN PLACE AT THE EAST QUARTER CORNER AND NORTHEAST SECTION CORNER, SECTION 25-26-4 PER KING COUNTY DEPARTMENT OF PUBLIC WORKS SURVEY BARNCH CONTROL POINTS 494 AND 493



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10-02-2015

APR CSC CSC  
REVISION PUBLIC WORKS CONDITIONS  
DATE 09/18/15 10/01/15  
PARCEL A FRONTAGE WORK

DRAFTED BY: MAJ  
DESIGNED BY: MAJ/CSC  
PROJECT ENGINEER: MAJ  
DATE: 03.20.15  
PROJECT NO.: 15012

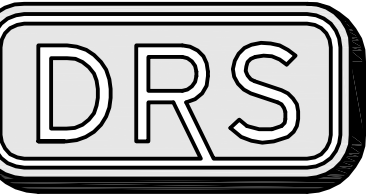
DRAWING: C3  
SHEET: 3 OF 9



NE 1/4 SECTION 25, TOWNSHIP 26 N, RANGE 4 E, W.M.

# RADKE SUBDIVISION

KIRKLAND PERMIT NO. SUB15-00615



D.R. STRONG  
CONSULTING ENGINEERS  
ENGINEERS PLANNERS SURVEYORS

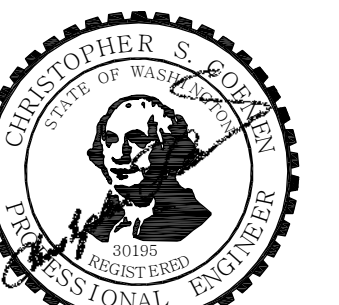
620 - 7th AVENUE KIRKLAND, WA 98033  
O 425.627.3063 F 425.627.2423

RADKE SUBDIVISION  
IDP SUBMITTAL

ROAD AND GRADING PLAN  
12432 JUANITA DRIVE  
KIRKLAND, WASHINGTON

TOLL WA, LP

9720 NE 120TH PLACE, #100  
KIRKLAND, WA 98033  
(425) 825-5344



10-02-2015

APR

CSC

CSC

REVISION

PUBLIC WORKS CONDITIONS

FARCEL A FRONTAGE WORK

DATE

03/18/15

10/01/15

PROJECT NO.

15012

DRAFTED BY:

MAJ

DESIGNED BY:

MAJ/CSC

PROJECT ENGINEER:

MAJ

DATE:

03.20.15

PROJECT NO.:

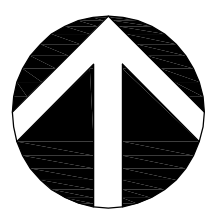
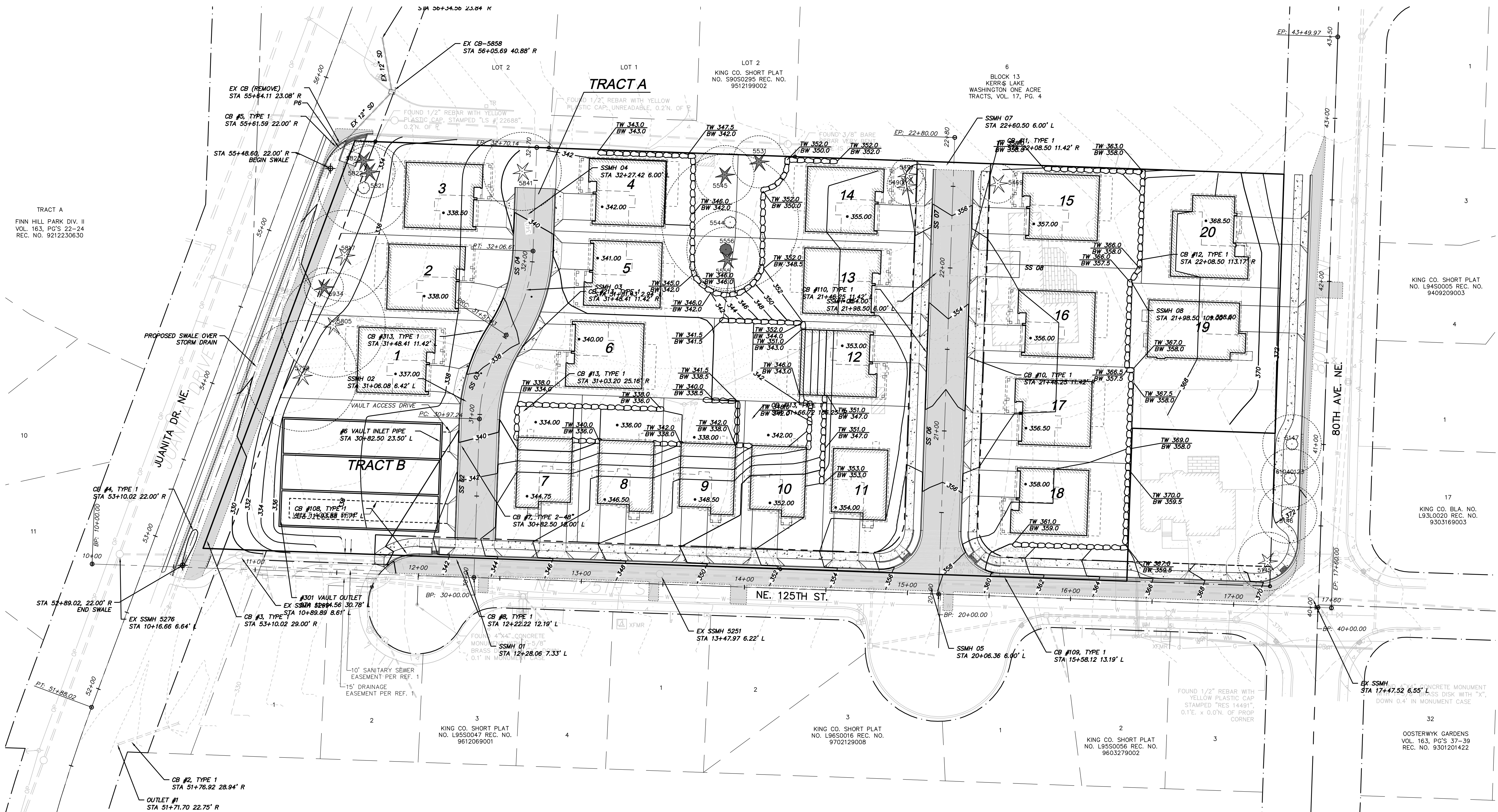
15012

DRAWING:

C4

SHEET:

4 OF 9



NORTH

GRAPHIC SCALE

0 15 30 60

1 INCH = 30 FT.

BASIS OF BEARINGS:

N01°59'45"E BETWEEN THE MONUMENTS

FOUND IN PLACE AT THE EAST

QUARTER CORNER AND NORTHEAST

SECTION CORNER, SECTION 25-26-4

PER KING COUNTY DEPARTMENT OF

PUBLIC WORKS SURVEY BARNCH

CONTROL POINTS 494 AND 493

NE 1/4 SECTION 25, TOWNSHIP 26 N, RANGE 4 E, W.M.

**RADKE SUBDIVISION**

KIRKLAND PERMIT NO. SUB15-00615

DRS

D.R. STRONG  
CONSULTING ENGINEERS  
ENGINEERS PLANNERS SURVEYORS  
620 - 7th AVENUE KIRKLAND, WA 98033  
O 425.827.3063 F 425.827.2423

RADKE SUBDIVISION  
IDP SUBMITTAL

ROAD CROSS SECTIONS  
12432 JUANITA DRIVE  
KIRKLAND, WASHINGTON

TOLL WA, LP

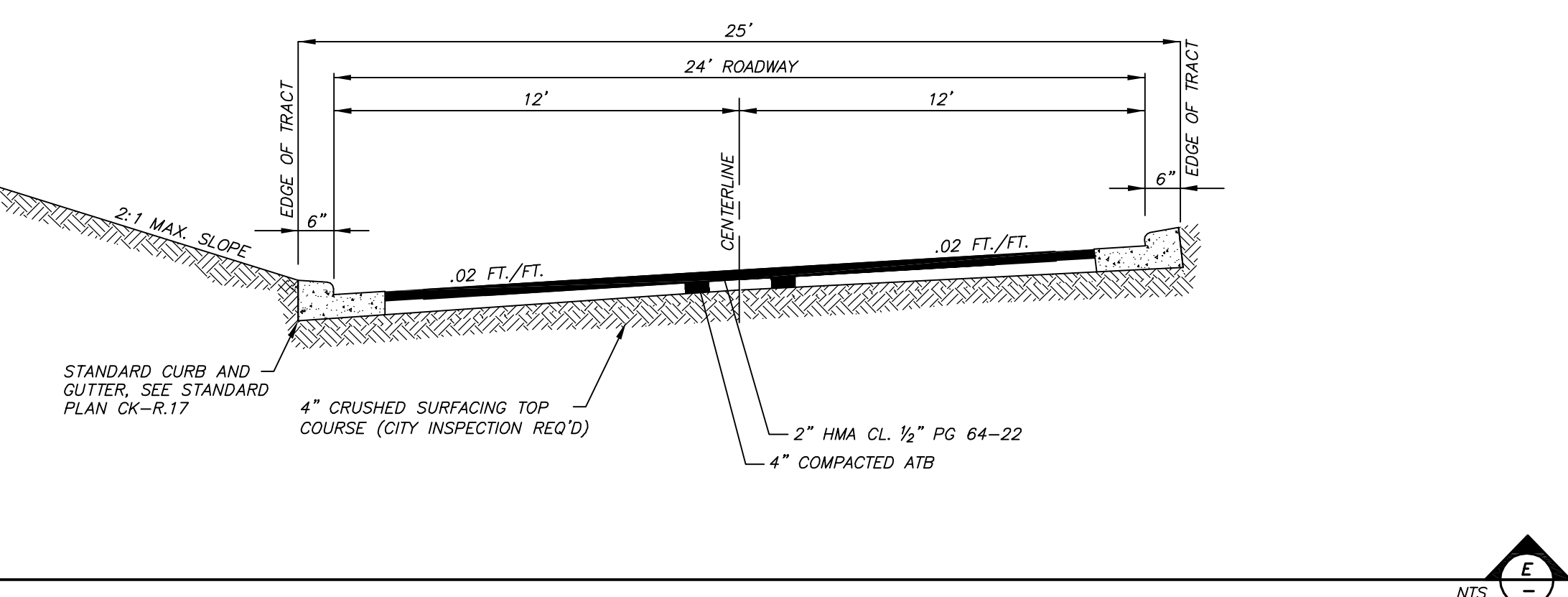
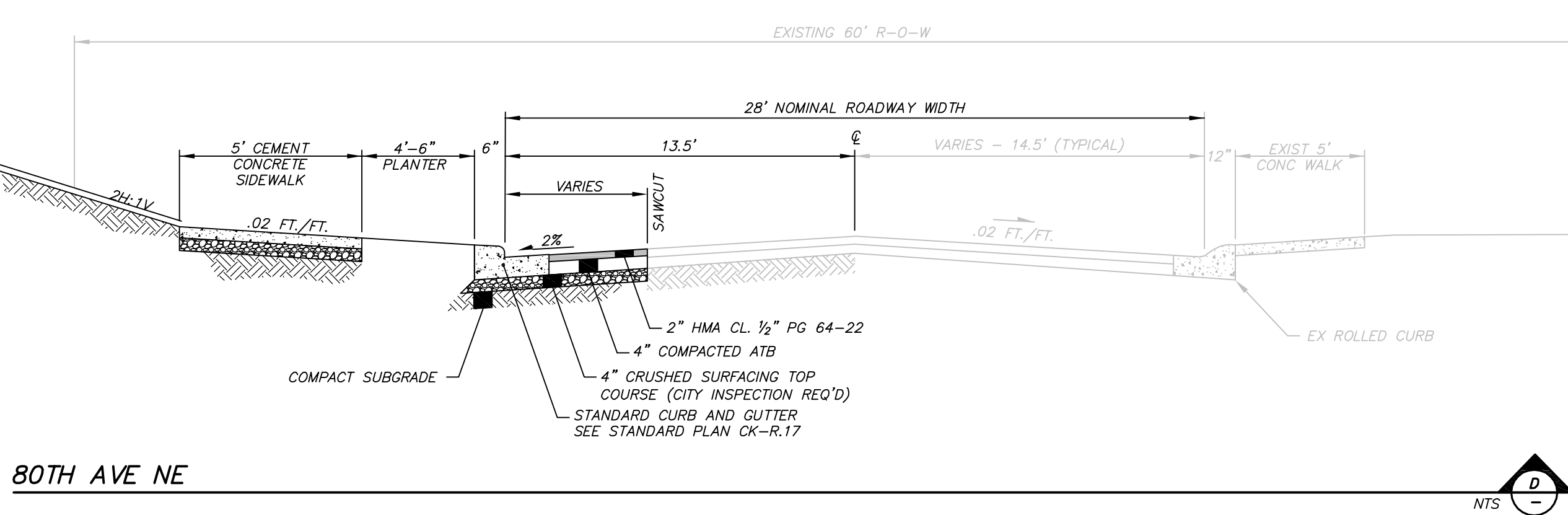
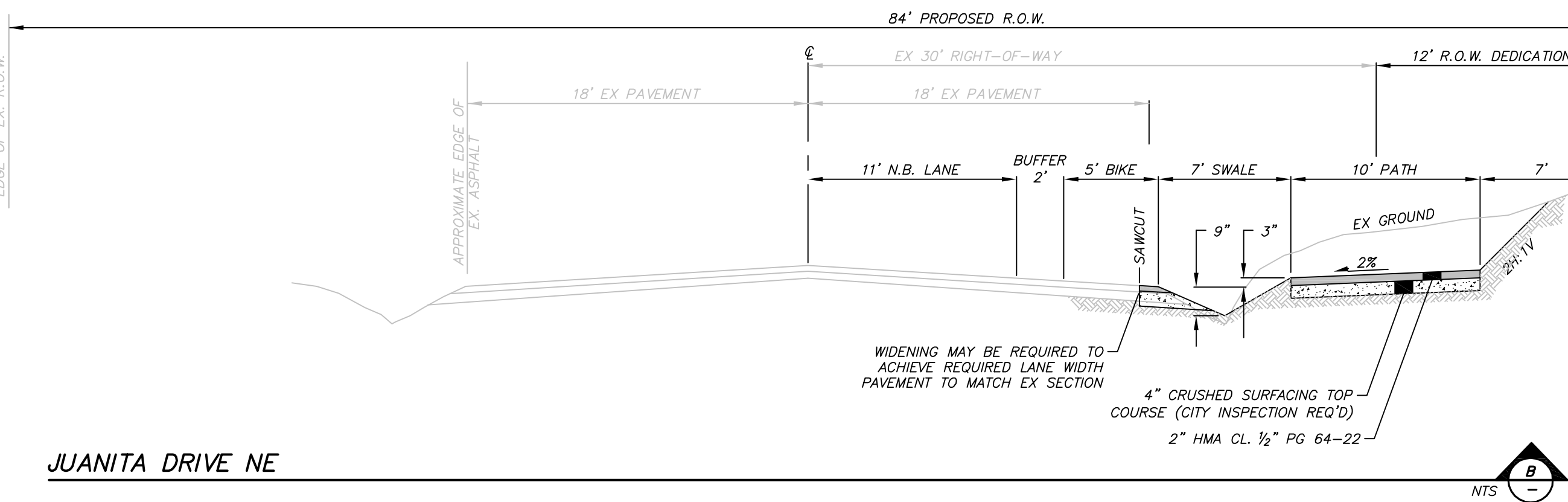
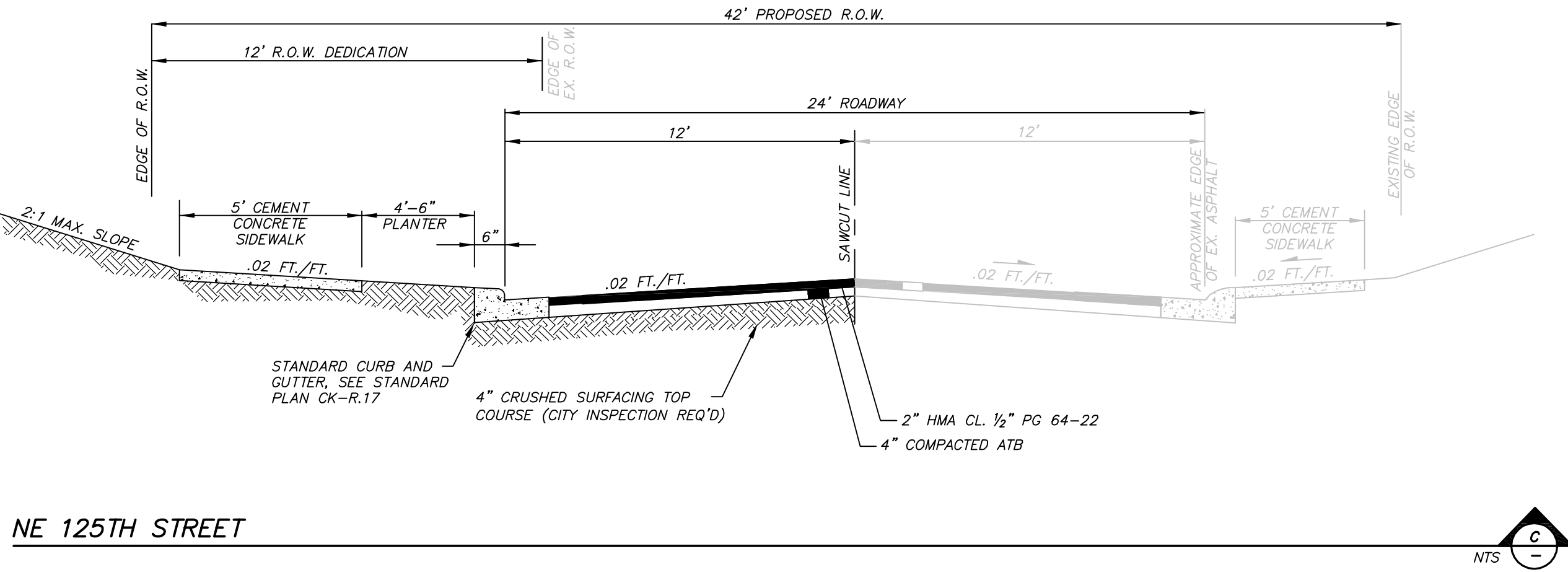
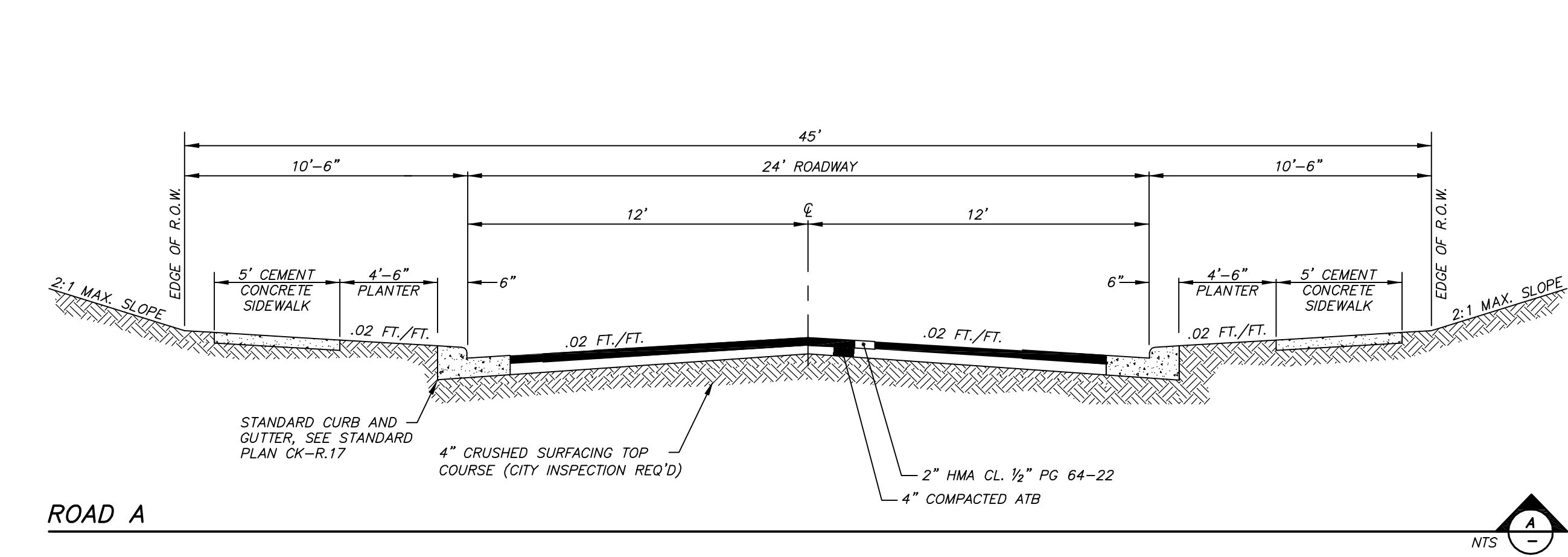
9720 NE 120TH PLACE, #100  
KIRKLAND, WA 98033  
(425) 825-5344

CHRISTOPHER S. JONES  
WASHINGTON  
REGISTERED  
PROFESSIONAL ENGINEER  
10-02-2015

APR	CSC	CSC
REVISION	PUBLIC WORKS CONDITIONS	PARCEL A FRONTAGE WORK
DATE	09/18/15	10/01/15

DRAFTED BY: MAJ  
DESIGNED BY: MAJ/CSC  
PROJECT ENGINEER: MAJ  
DATE: 03.20.15  
PROJECT NO.: 15012

DRAWING: C5  
SHEET: 5 OF 9



ROAD A

NE 125TH STREET

JUANITA DRIVE NE

80TH AVE NE

TRACT A



NE 1/4 SECTION 25, TOWNSHIP 26 N, RANGE 4 E, W.M.

# RADKE SUBDIVISION

KIRKLAND PERMIT NO. SUB15-00615



D.R. STRONG  
CONSULTING ENGINEERS  
ENGINEERS PLANNERS SURVEYORS

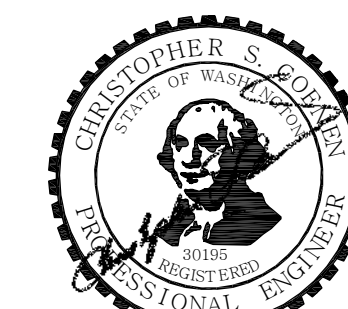
620 - 7th AVENUE KIRKLAND, WA 98033  
O 425.827.3063 F 425.827.2423

RADKE SUBDIVISION  
IDP SUBMITTAL

DRAINAGE CONTROL PLAN  
12432 JUANITA DRIVE  
KIRKLAND, WASHINGTON

TOLL WA, LP

9720 NE 120TH PLACE, #100  
KIRKLAND, WA 98033  
(425) 825-5344

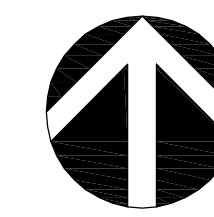
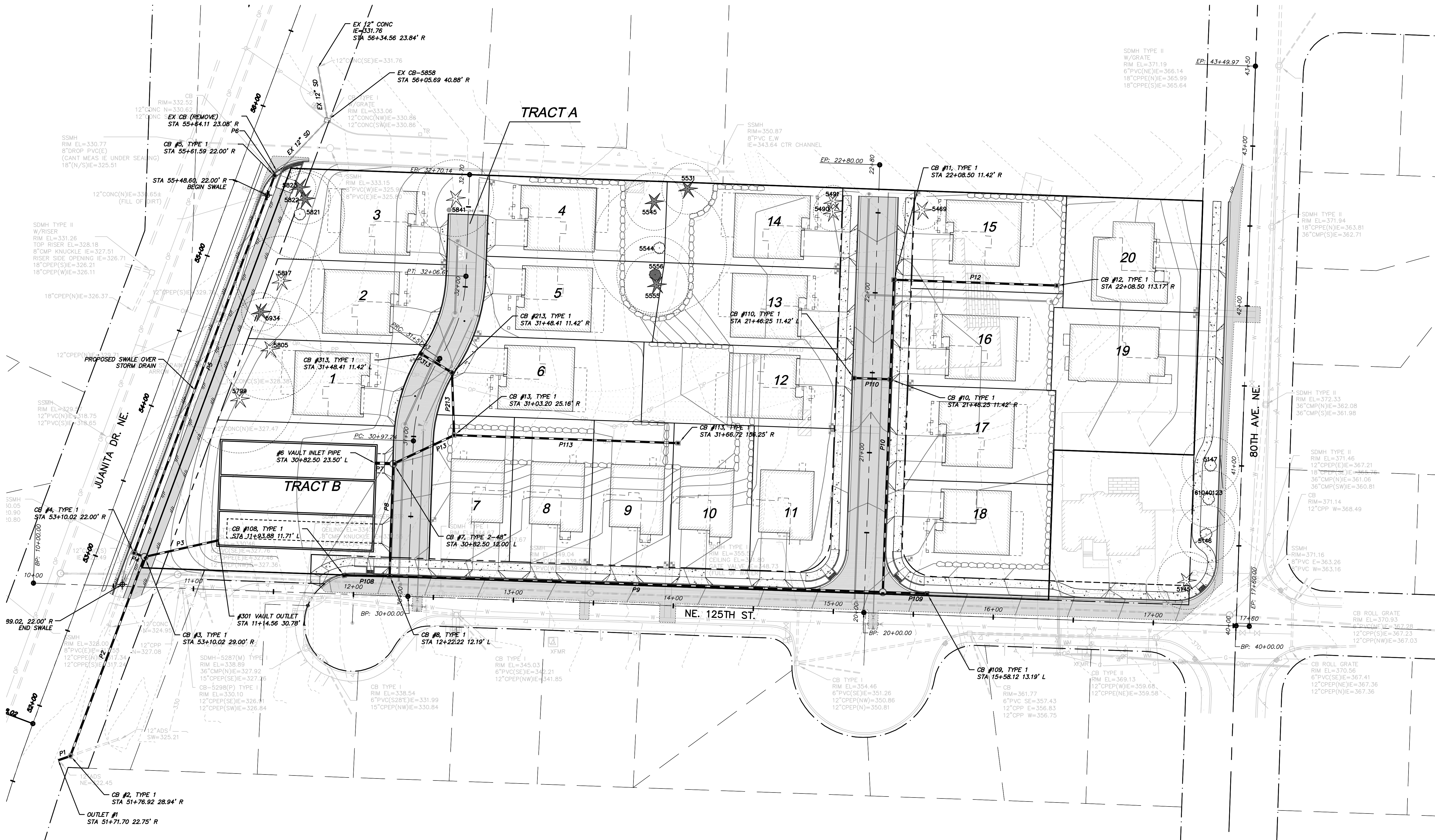


10-02-2015

DATE	REVISION	PUBLIC WORKS CONDITIONS	FARCEL A FRONTAGE WORK
09/18/15			
10/01/15			

DRAFTED BY: MAJ  
DESIGNED BY: MAJ/CSC  
PROJECT ENGINEER: MAJ  
DATE: 03.20.15  
PROJECT NO.: 15012

DRAWING: C6  
SHEET: 6 OF 9



NORTH

GRAPHIC SCALE

0 20 40 80

1 INCH = 40 FT.

BASIS OF BEARINGS:

N01°59'45"E BETWEEN THE MONUMENTS  
FOUND IN PLACE AT THE EAST  
QUARTER CORNER AND NORTHEAST  
SECTION CORNER, SECTION 25-26-4  
PER KING COUNTY DEPARTMENT OF  
PUBLIC WORKS SURVEY BARNCH  
CONTROL POINTS 494 AND 493



NE 1/4 SECTION 25, TOWNSHIP 26 N, RANGE 4 E, W.M.

**RADKE SUBDIVISION**

KIRKLAND PERMIT NO. SUB15-00615



D.R. STRONG  
CONSULTING ENGINEERS  
ENGINEERS PLANNERS SURVEYORS

620 - 7th AVENUE KIRKLAND, WA 98033  
O 425.627.3063 F 425.627.2423

**RADKE SUBDIVISION  
IDP SUBMITTAL**

UTILITY PROFILES  
12432 JUANITA DRIVE  
KIRKLAND, WASHINGTON

**TOLL WA, LP**

9720 NE 120TH PLACE, #100  
KIRKLAND, WA 98033  
(425) 825-5344



10-02-2015

APR CSC

REVISION PUBLIC WORKS CONDITIONS.

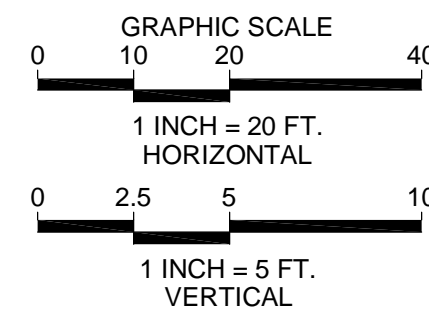
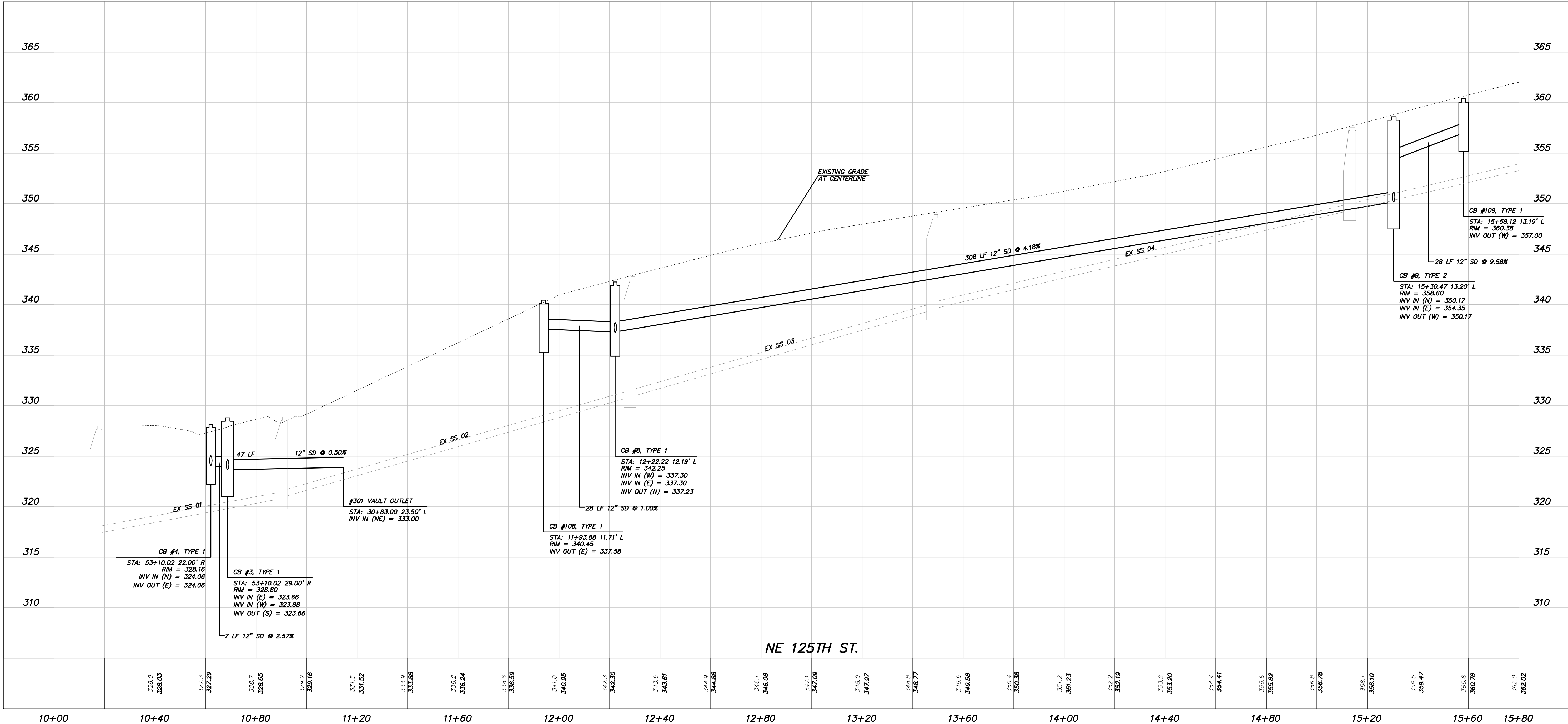
DATE 09/18/15

10/01/15

PARCEL A FRONTAGE WORK

DRAFTED BY: MAJ  
DESIGNED BY: MAJ/CSC  
PROJECT ENGINEER: MAJ  
DATE: 03.20.15  
PROJECT NO.: 15012

DRAWING: **C7**  
SHEET: **7** OF **9**



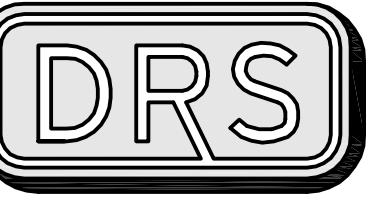
**BASIS OF BEARINGS:**

N01°59'45"E BETWEEN THE MONUMENTS  
FOUND IN PLACE AT THE EAST  
QUARTER CORNER AND NORTHEAST  
SECTION CORNER, SECTION 25-26-4  
PER KING COUNTY DEPARTMENT OF  
PUBLIC WORKS SURVEY BARNCH  
CONTROL POINTS 494 AND 493

NE 1/4 SECTION 25, TOWNSHIP 26 N, RANGE 4 E, W.M.

# RADKE SUBDIVISION

KIRKLAND PERMIT NO. SUB15-00615



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RADKE SUBDIVISION  
IDP SUBMITTAL

UTILITY PROFILES  
12432 JUANITA DRIVE  
KIRKLAND, WASHINGTON

TOLL WA, LP

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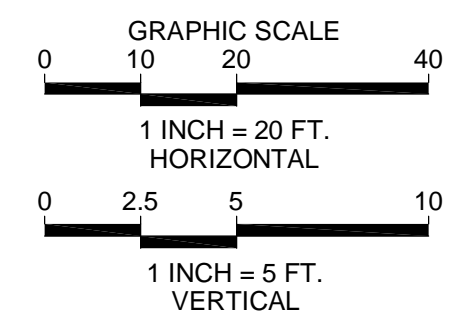
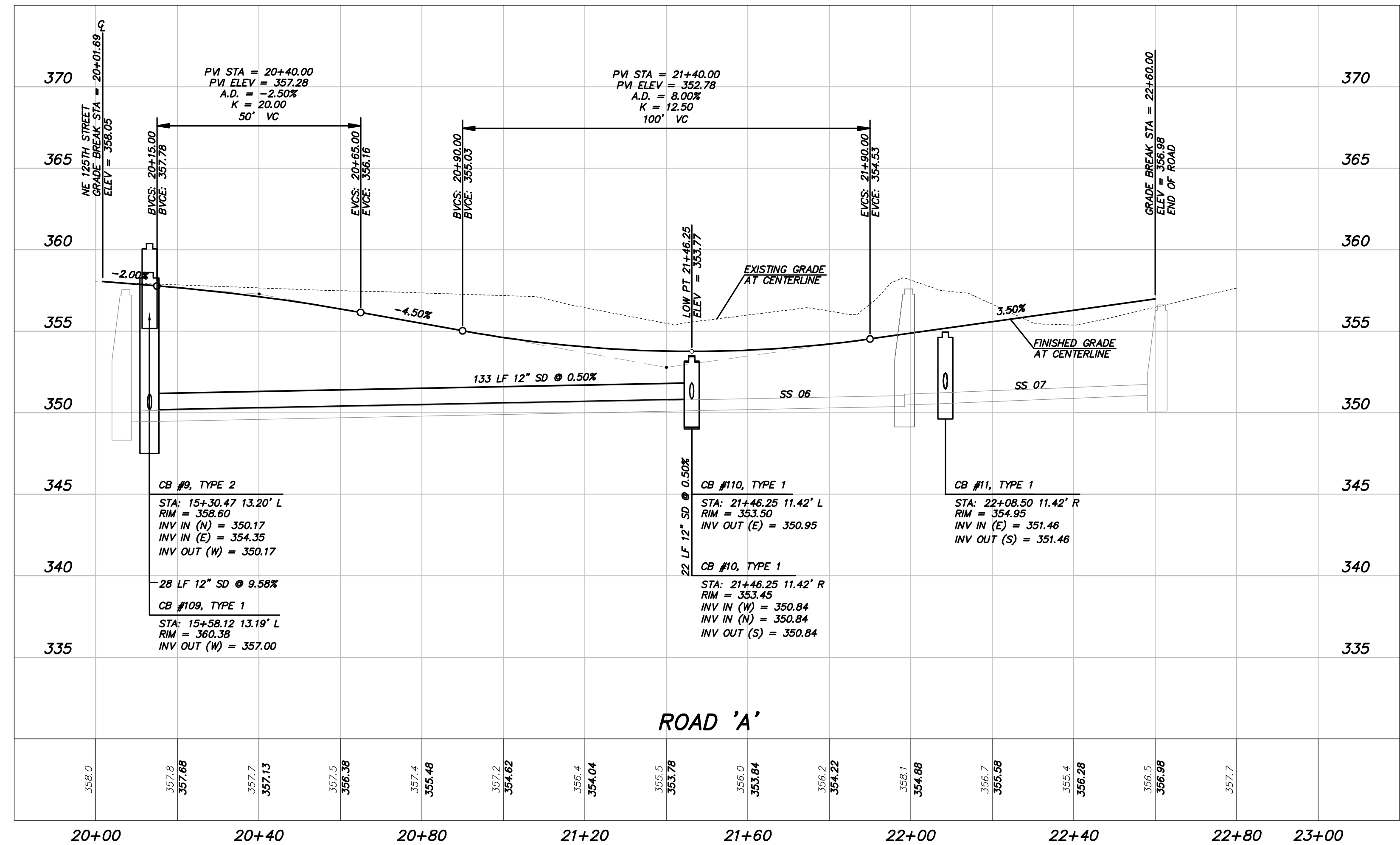
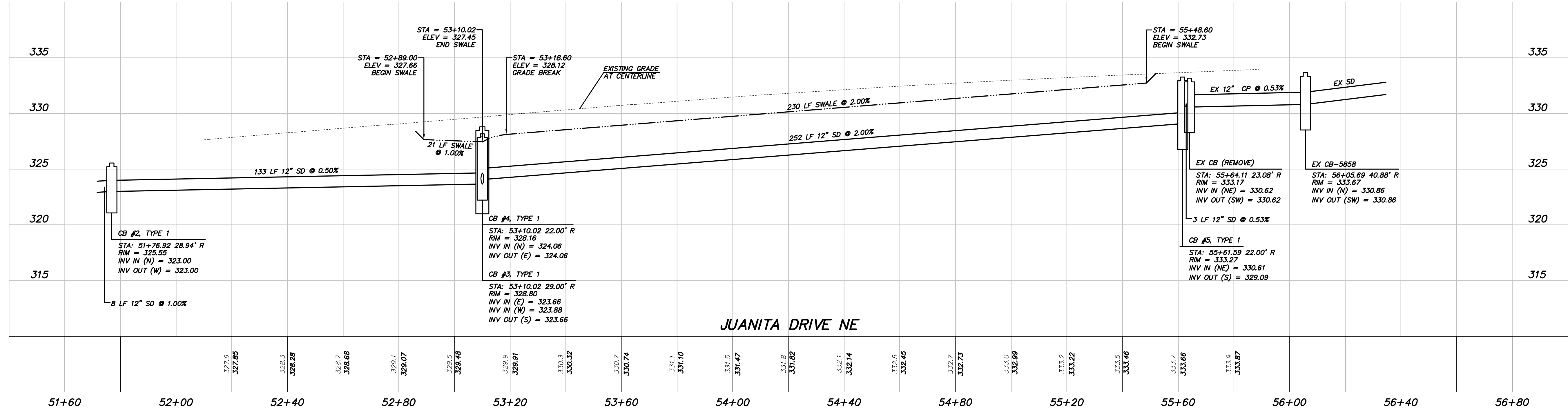


10-02-2015

DATE 09/18/15  
REVISION 10/01/15  
PUBLIC WORKS CONDITIONS  
FARCEL A FRONTAGE WORK

DRAFTED BY: MAJ  
DESIGNED BY: MAJ/CSC  
PROJECT ENGINEER: MAJ  
DATE: 03.20.15  
PROJECT NO.: 15012

DRAWING: C8  
SHEET: 8 OF 9



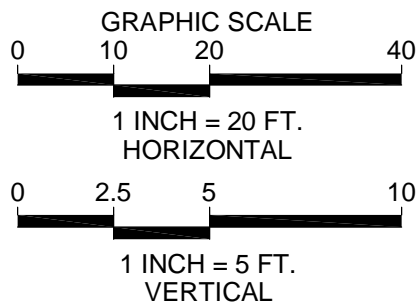
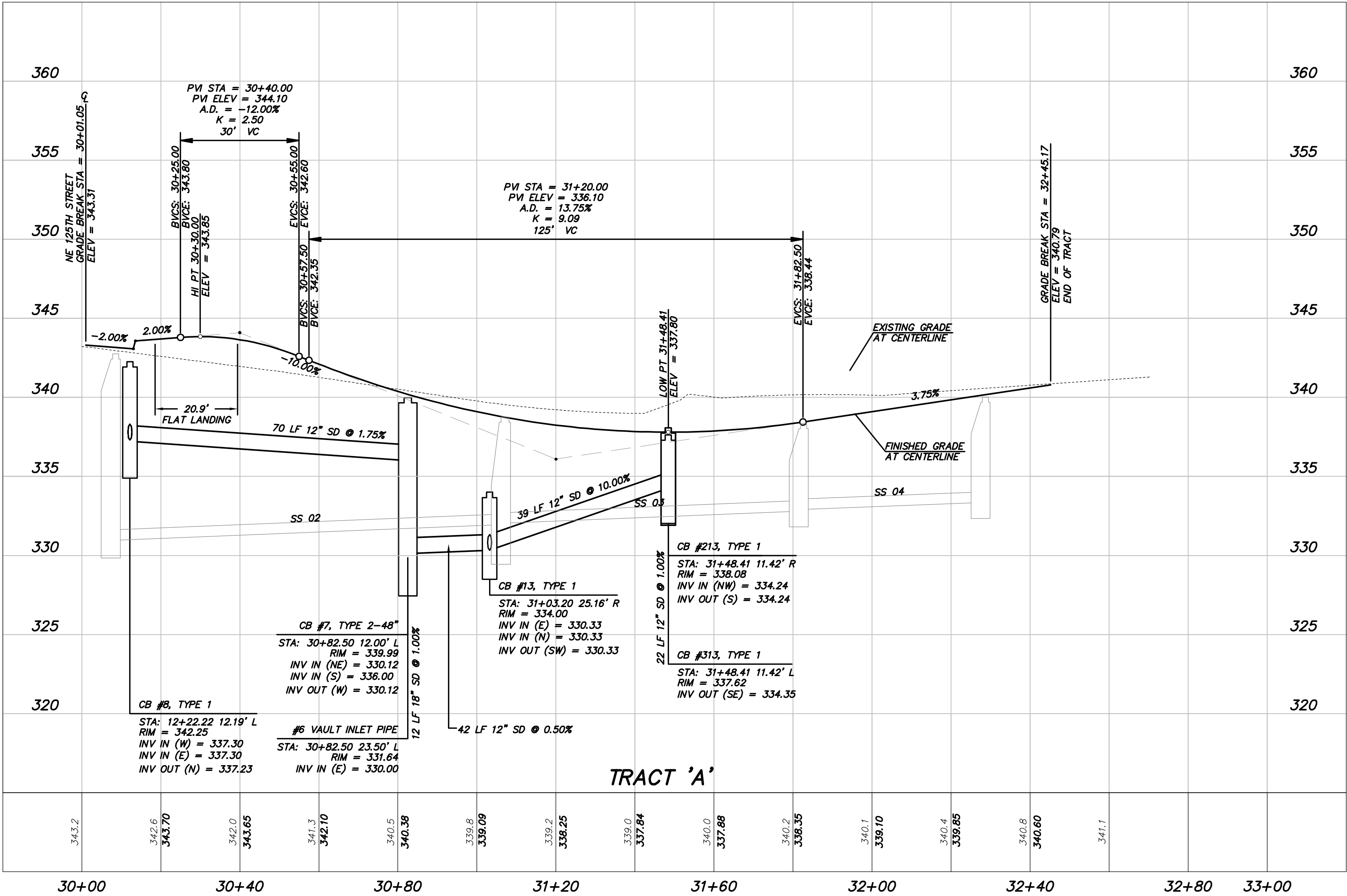
## BASIS OF BEARINGS:

N01°59'45"E BETWEEN THE MONUMENTS  
FOUND IN PLACE AT THE EAST  
QUARTER CORNER AND NORTHEAST  
SECTION CORNER, SECTION 25-26-4  
PER KING COUNTY DEPARTMENT OF  
PUBLIC WORKS SURVEY BARNCH  
CONTROL POINTS 494 AND 493

NE 1/4 SECTION 25, TOWNSHIP 26 N, RANGE 4 E, W.M.

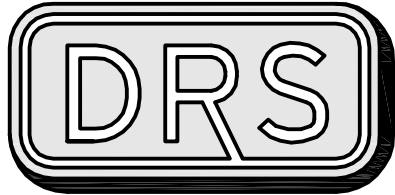
**RADKE SUBDIVISION**

KIRKLAND PERMIT NO. SUB15-00615



**BASIS OF BEARINGS:**

N01°59'45"E BETWEEN THE MONUMENTS  
FOUND IN PLACE AT THE EAST  
QUARTER CORNER AND NORTHEAST  
SECTION CORNER, SECTION 25-26-4  
PER KING COUNTY DEPARTMENT OF  
PUBLIC WORKS SURVEY BARNCH  
CONTROL POINTS 494 AND 493



**D.R. STRONG  
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ENGINEERS PLANNERS SURVEYORS

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**RADKE SUBDIVISION  
IDP SUBMITTAL**

UTILITY PROFILES  
12432 JUANITA DRIVE  
KIRKLAND, WASHINGTON

**TOLL WA, LP**

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(425) 825-5344



10-02-2015

REVISION  
DATE 09/18/15  
PUBLIC WORKS CONDITIONS  
10/01/15  
PARCEL 'A' FRONTAGE WORK

DRAFTED BY: MAJ  
DESIGNED BY: MAJ/CSC  
PROJECT ENGINEER: MAJ  
DATE: 03.20.15  
PROJECT NO.: 15012

DRAWING: C9  
SHEET: 9 OF 9